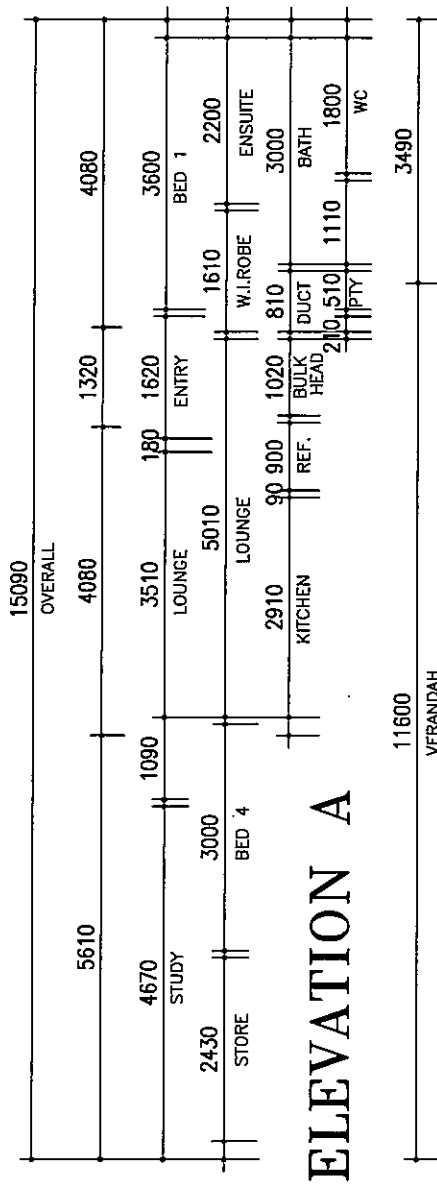


Folder/CAD FILE: XCADFILEX	PLOT VIEW: XPLOTVIEWX	HILLCREST 2100 MKII V6	
		Scale	Date 23/3/09
		Drawn	Key/Draw No. A.L 21306-CON
		Checked	Sheet No. 1

NOTE: PROVIDE 1No. TEMPERATURE CONTROL DEVICE TO REGULATE HOT WATER SUPPLY TO BATHROOM & ENSUITE TO CONFORM WITH PLUMBING & DRAINAGE CODE.

ALL SANITARY COMPARTMENTS TO COMPLY WITH PART 3.8.3.3. OF AMNDT 3 OF BCA96.

DIMENSIONS LOCATING WINDOWS ARE NOMINAL



NETT FLOOR TILE AREA:
(NOT INCLUDING SKIRTING TILES)

STANDARD AREA: 11.35 m²
ADDITIONAL AREA: XX.XX. m²
(BY VARIATION)

— REF, FRE, WM, CD, DW INDICATES POSITION ONLY

[MH] — MANHOLE ● — SMOKE DETECTOR TO A.S. 3786



Simonds Homes
Melbourne Pty.Ltd.
2ND FLOOR, 28-32 ALBERT ROAD,
SOUTH MELBOURNE VIC 3205
Tel. 9682 0700 Fax 9682 0800
ACN 060 197 610

NOTES: — WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
— UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS
EXTERNAL 240mm B/VENEER — INTERNAL 90mm TIMBER STUD
— STEPS/STAIRS TREADS MIN 250mm RISERS MAX 190mm HANDRAILS &
BALUSTADING 1000mm MIN HIGH BALUSTERS MAX 125mm SPACING
— DIMENSIONS TO STRUCTURAL TIMBERS AND FACE OF BRICKS
EXCLUDING BATTENS, PLASTERBOARD, ETC.
— ALL WINDOWS TO BE SET AT 2110mm O/A HEAD UNLESS
NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD
HEIGHT TO WITHIN 5-10mm OF LINE
— REFER TO ALL ENGINEERS' DETAILS FOR STRUCTURAL MEMBERS

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VIEW

GROUND FLOOR

CUSTOMER

MR. C & MRS. L. BAILEY

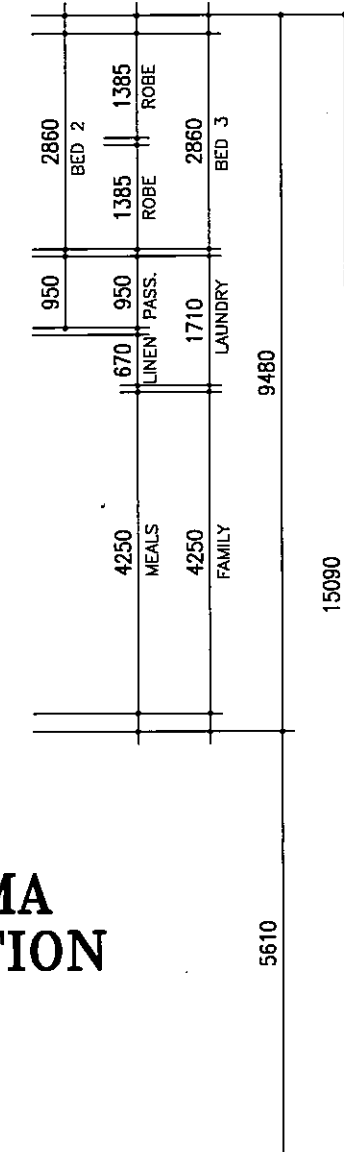
ADDRESS

LOT 1773 MIRRABUCCA PROM, STH MORANG

NOTE:
ALL WET AREAS TO COMPLY WITH A.S. 3740

NOTE:
PROVIDE INSULATION TO:
EXTERNAL DWELLING WALLS,
WALL BETWEEN GARAGE AND HOUSE
AND CEILING DIRECTLY UNDER ROOF SPACE.
EXCLUDES INSULATION TO GARAGE CEILING SPACE,
GARAGE EXTERNAL WALLS
AND GROUND FLOOR CEILING UNDER
1ST FLOOR OF DOUBLE STOREY HOMES.

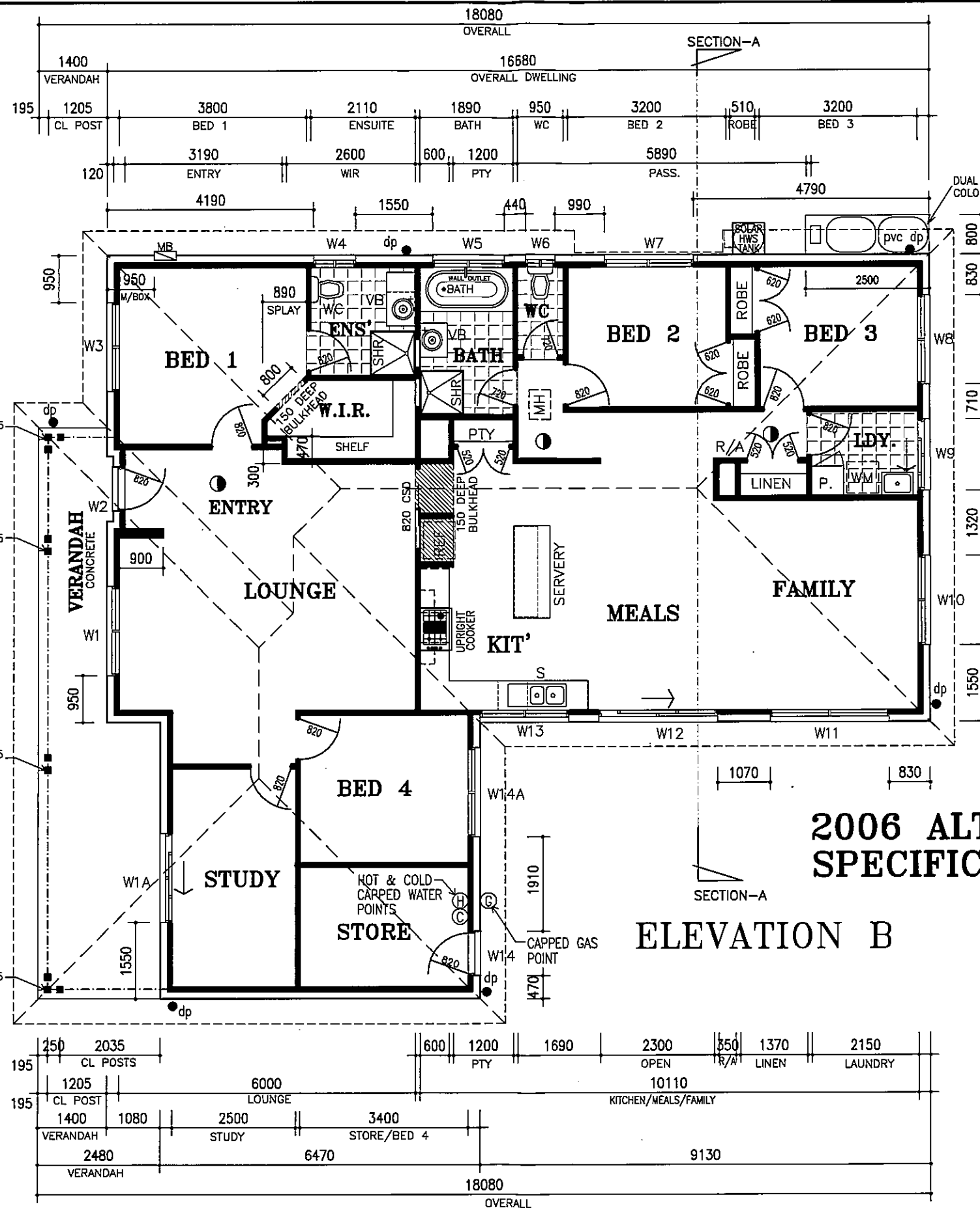
ELEVATION D



ELEVATION C

**2006 ALTIMA
SPECIFICATION**

ELEVATION B



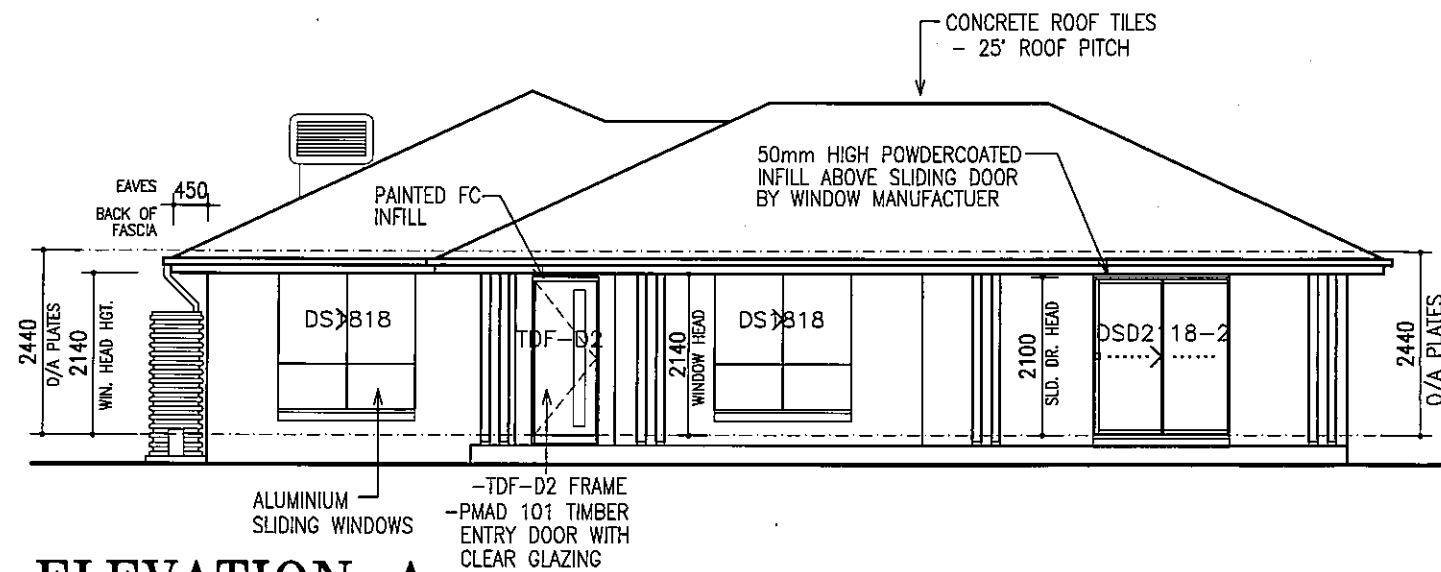
TRADITIONAL FACADE

AREAS.	Gr'd Fl.	174.43m ²	18.78Sqs
Verandah		22.46m ²	2.42Sqs
Garage		38.82m ²	4.18Sqs
Total Area		235.71m ²	25.37Sqs

House	HILLCREST 2100 MKII V6		
Scale	1:100	Date	23/3/09
Drawn	A.L.	Doc No.	21306-CON
Checked		Sheet No.	2

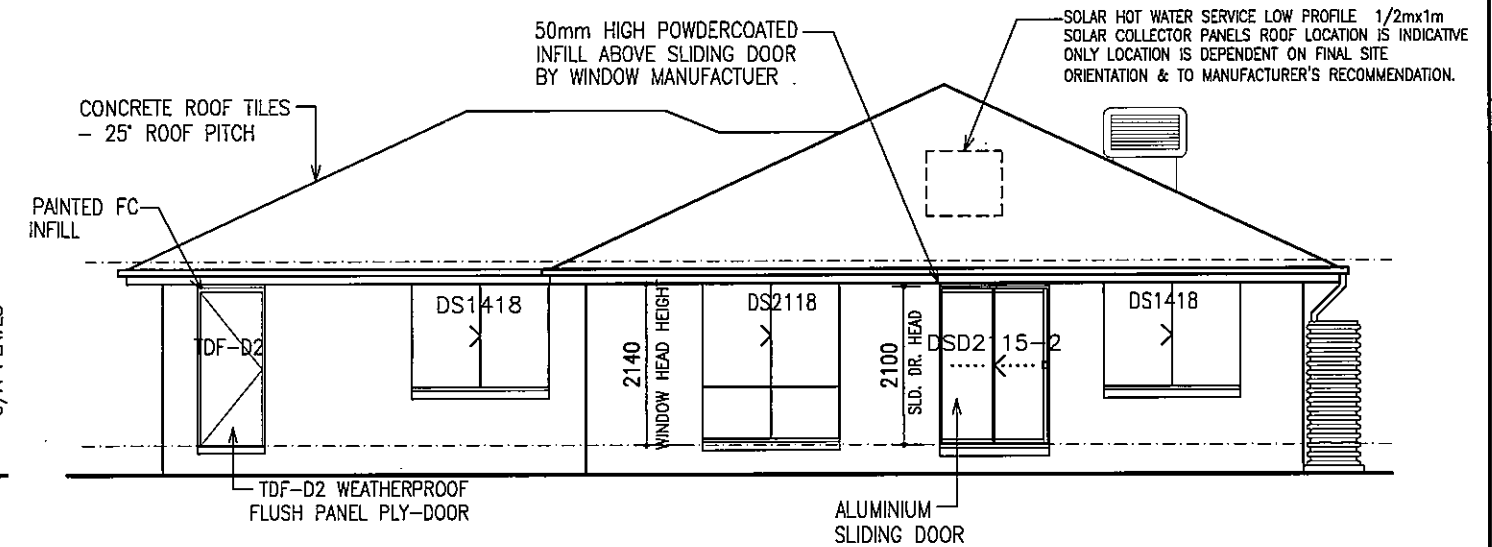
2006 ALTIMA SPECIFICATION

ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

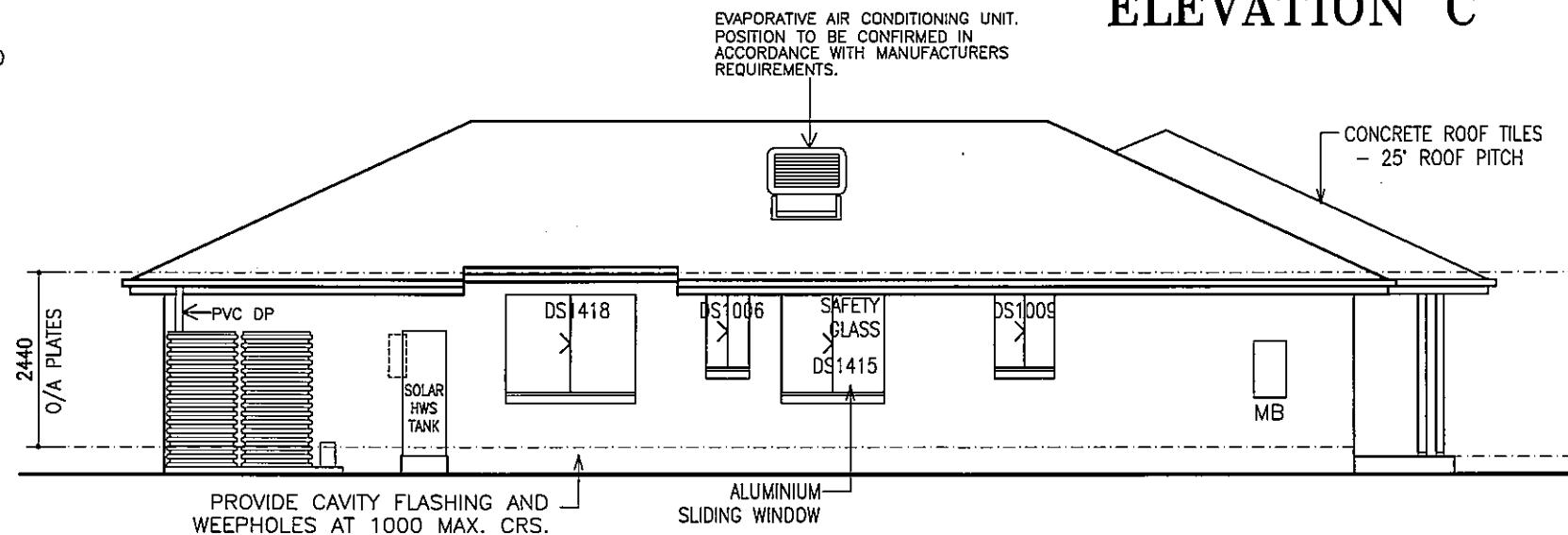


ELEVATION A

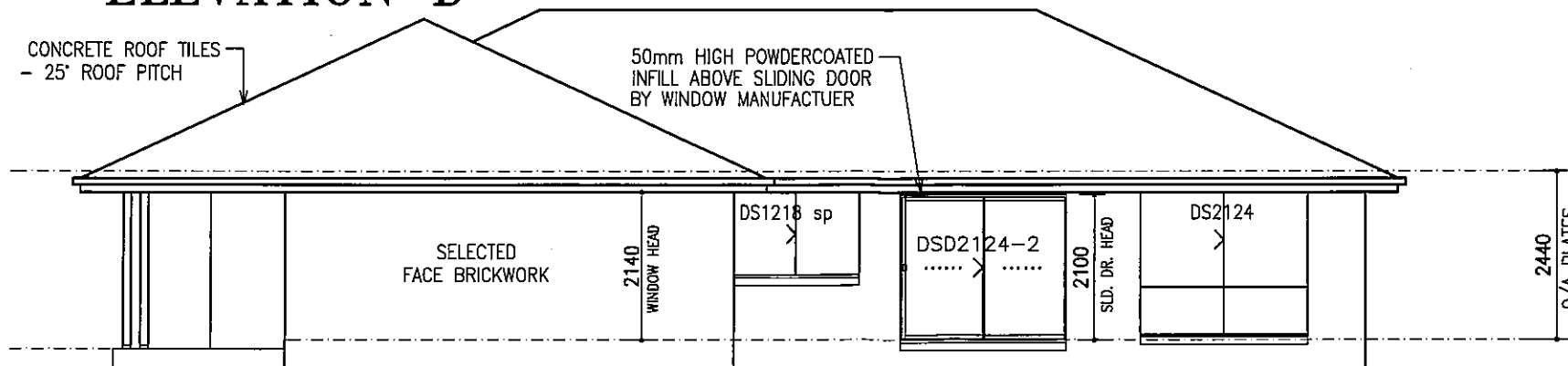
MAKE UP GROUND LEVEL AROUND HOUSE AS REQUIRED.



ELEVATION C



ELEVATION D



ELEVATION B

PROVIDE BACKFILL TO ALL EXTERNAL OPENINGS TO PROVIDE A 190mm MAX. STEP UP INTO HOUSE AS PER BCA REQUIREMENTS.

CONTROL JOINTS IN ACCORDANCE WITH ENGINEERS RECOMMENDATIONS

V 6

TRADITIONAL FACADE



Simonds Homes
Melbourne Pty.Ltd.

2ND FLOOR, 28-32 ALBERT ROAD,
SOUTH MELBOURNE VIC 3205
Tel. 9682 0700 Fax 9682 0800
ACN 050 197 610

NOTES: - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- ALL GLASS TO CONFORM WITH BCA VOL 2 PART 3.6.
- DIMENSIONS TO STRUCTURAL TIMBERS AND FACE OF BRICKS EXCLUDING BATTENS, PLASTERBOARD, ETC.
- PROVIDE SUBFLOOR VENTILATION TO TIMBER FLOORS TO ACHIEVE 7300m²/METRE RUN OF WALL
- BRICK CONTROL JOINTS TO CONFORM WITH CN9 FROM THE CEMENT & CONCRETE ASSOCIATION

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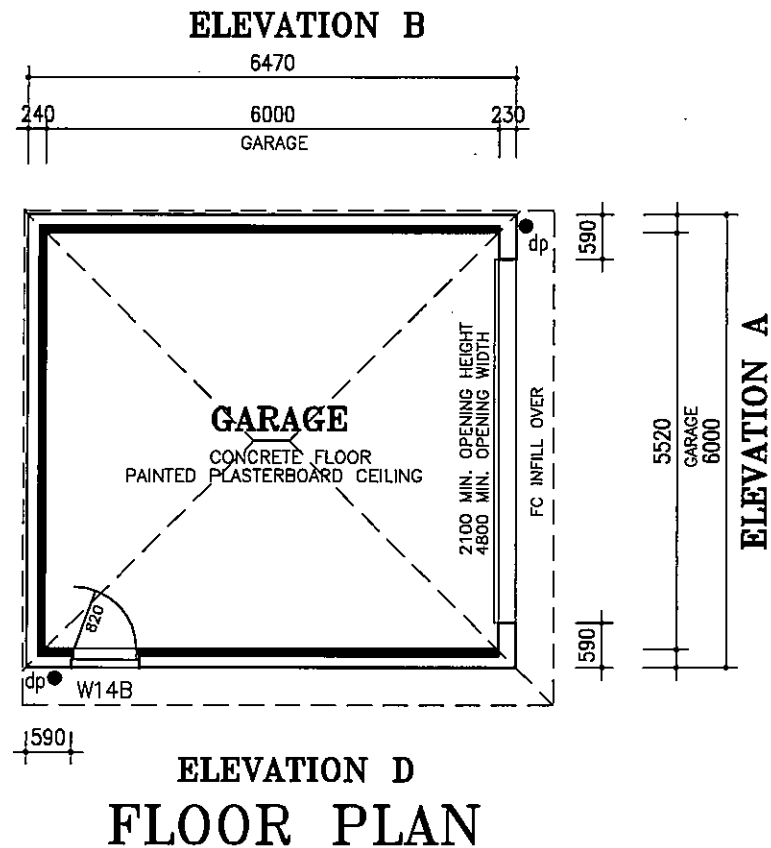
VIEW
ELEVATIONS

CUSTOMER
MR. C & MRS. L. BAILEY

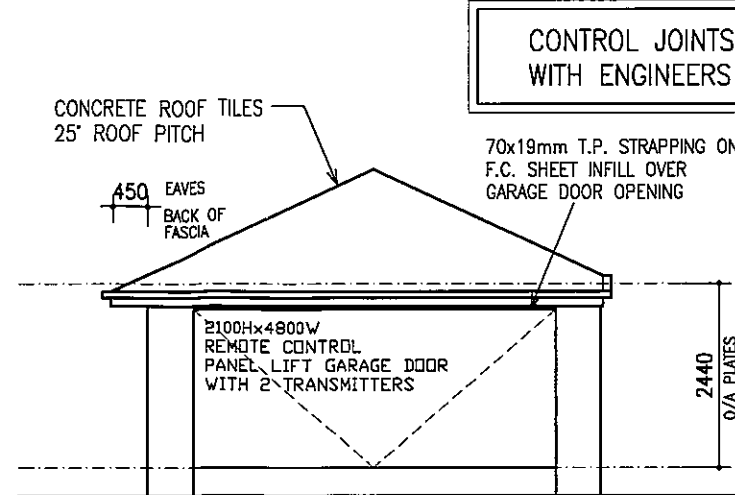
ADDRESS
LOT 1773 MIRRABUCCA PROM, STH MORANG

House
HILLCREST 2100 MKII V6
Scale 1:100 Date 23/3/09
Drawn A.L. Drg. No. 21306-CON
Checked Sheet No. 3

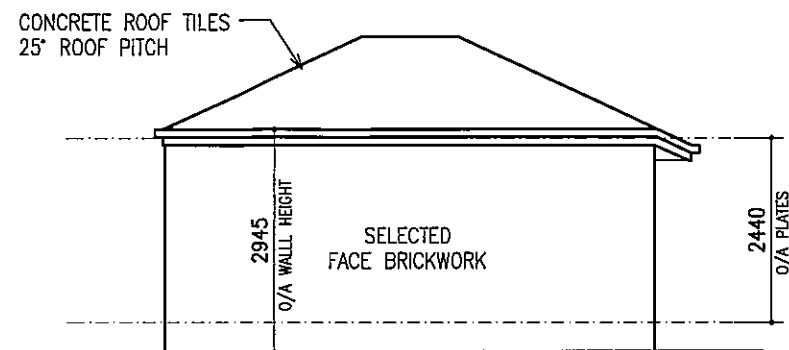
ELEVATION C



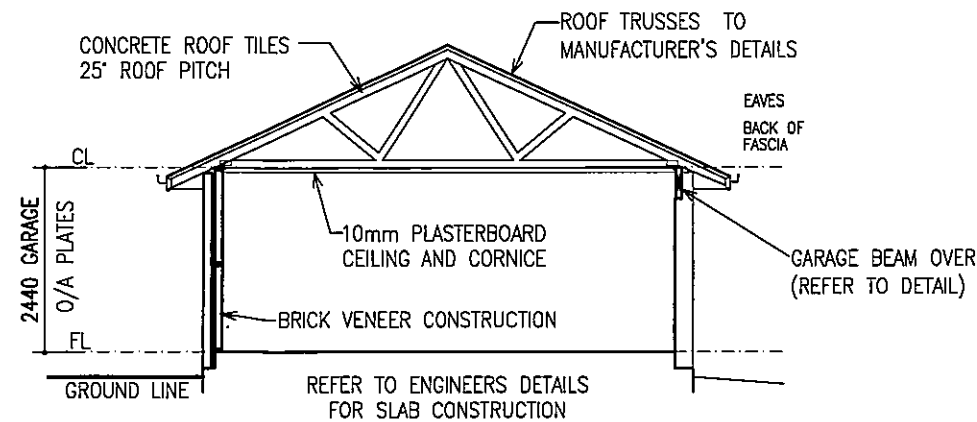
SLAB PLAN



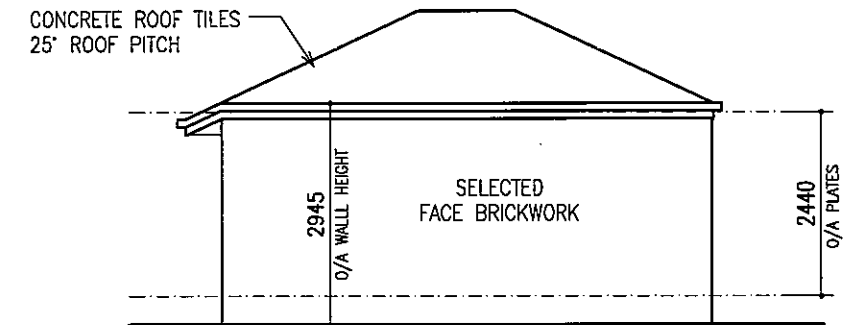
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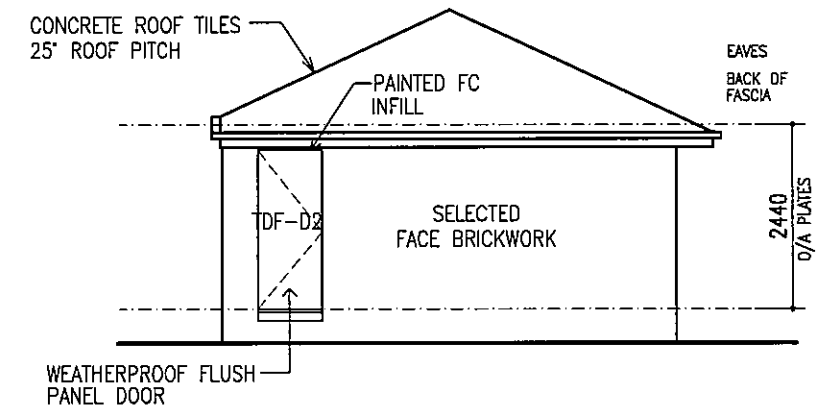
ELEVATION C



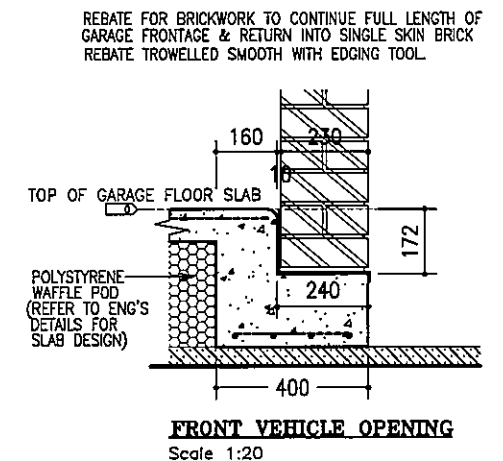
GARAGE SECTION



ELEVATION B



ELEVATION D



2006 ALTIMA SPECIFICATION

TRADITIONAL FACADE



**Simonds Homes
Melbourne Pty.Ltd.**

2ND FLOOR, 28-32 ALBERT ROAD,
SOUTH MELBOURNE VIC 3205
Tel. 9682 0700 Fax 9682 0800
ACN 050 197 610

NOTES:- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
- ALL GLASS TO CONFORM WITH BCA VOL 2 PART 3.6.
- DIMENSIONS TO STRUCTURAL TIMBERS AND FACE OF BRICKS
EXCLUDING BATTENS, PLASTERBOARD, ETC.
- PROVIDE SUBFLOOR VENTILATION TO TIMBER FLOORS TO
ACHIEVE 7300m²/METRE RUN OF WALL
© BRICK CONTROL JOINTS TO CONFORM WITH CN9 FROM THE
CEMENT & CONCRETE ASSOCIATION

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VIEW
GARAGE PLANS, ELEVATION, SECTIONS & DETAILS

CUSTOMER
MR. C & MRS. L. BAILEY

ADDRESS
LOT 1773 MIRRABUCCA PROM, STH MORANG

House
HILLCREST 2100 MKII V6

Scale
1:100

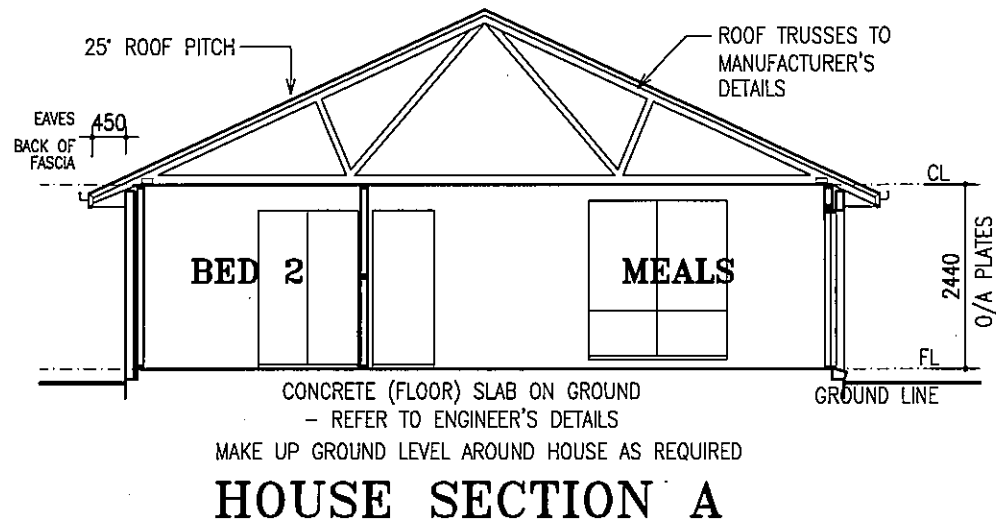
Date
23/3/09

Drawn
A.L.

Doc No.
21306-CON

Checked
Sheet No.
3A

ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS



NOTES:

ROOF TRUSSES TO
MANUFACTURERS DETAILS.

ALL STRUCTURAL TIMBER SIZES TO
BE IN ACCORDANCE WITH AS1684
NATIONAL TIMBER FRAMING CODE.

CONTROL JOINTS IN ACCORDANCE
WITH ENGINEERS RECOMMENDATIONS

PROVIDE BACKFILL TO ALL EXTERNAL OPENINGS
TO PROVIDE A 190mm MAX. STEP
UP INTO HOUSE AS PER BCA REQUIREMENTS.

STANDARD INCLUSIONS FOR ENERGY
EFFICIENCY REQUIREMENTS :

- AIRFLOW DRAFT STOPPERS TO EXHAUST FANS
- ALUMINIUM IMPROVED WINDOWS THROUGHOUT
- DOOR SEALS TO EXTERNAL AND UTILITY DOORS
- EDGES OF DOOR/WINDOW FRAME WILL BE SEALED IN
ACCORDANCE WITH ENERGY RATING ASSESSOR'S REPORT
- R 2.0 GLASSWOOL BATTS TO EXT. WALLS OF DWELLING
- R 3.5 GLASSWOOL BATTS TO CEILINGS

FURTHER INCLUSIONS REQUIRED TO ACHIEVE 5 STAR
ENERGY RATING TO BE CONFIRMED UPON RECEIPT
OF APPROVED REPORT FROM ACCREDITED ENERGY RATER

2006 ALTIMA SPECIFICATION

V 6

TRADITIONAL FACADE



**Simonds Homes
Melbourne Pty.Ltd.**
2ND FLOOR, 28-32 ALBERT ROAD,
SOUTH MELBOURNE VIC 3205
Tel. 9682 0700 Fax 9682 0800
ACN 050 187 610

NOTES:- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE
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- DIMENSIONS TO STRUCTURAL TIMBERS AND FACE OF BRICKS
EXCLUDING BATTENS, PLASTERBOARD, ETC.
- PROVIDE SUBFLOOR VENTILATION TO TIMBER FLOORS TO
ACHIEVE 7300m²/METRE RUN OF WALL
(C) BRICK CONTROL JOINTS TO CONFORM WITH CN9 FROM THE
CEMENT & CONCRETE ASSOCIATION

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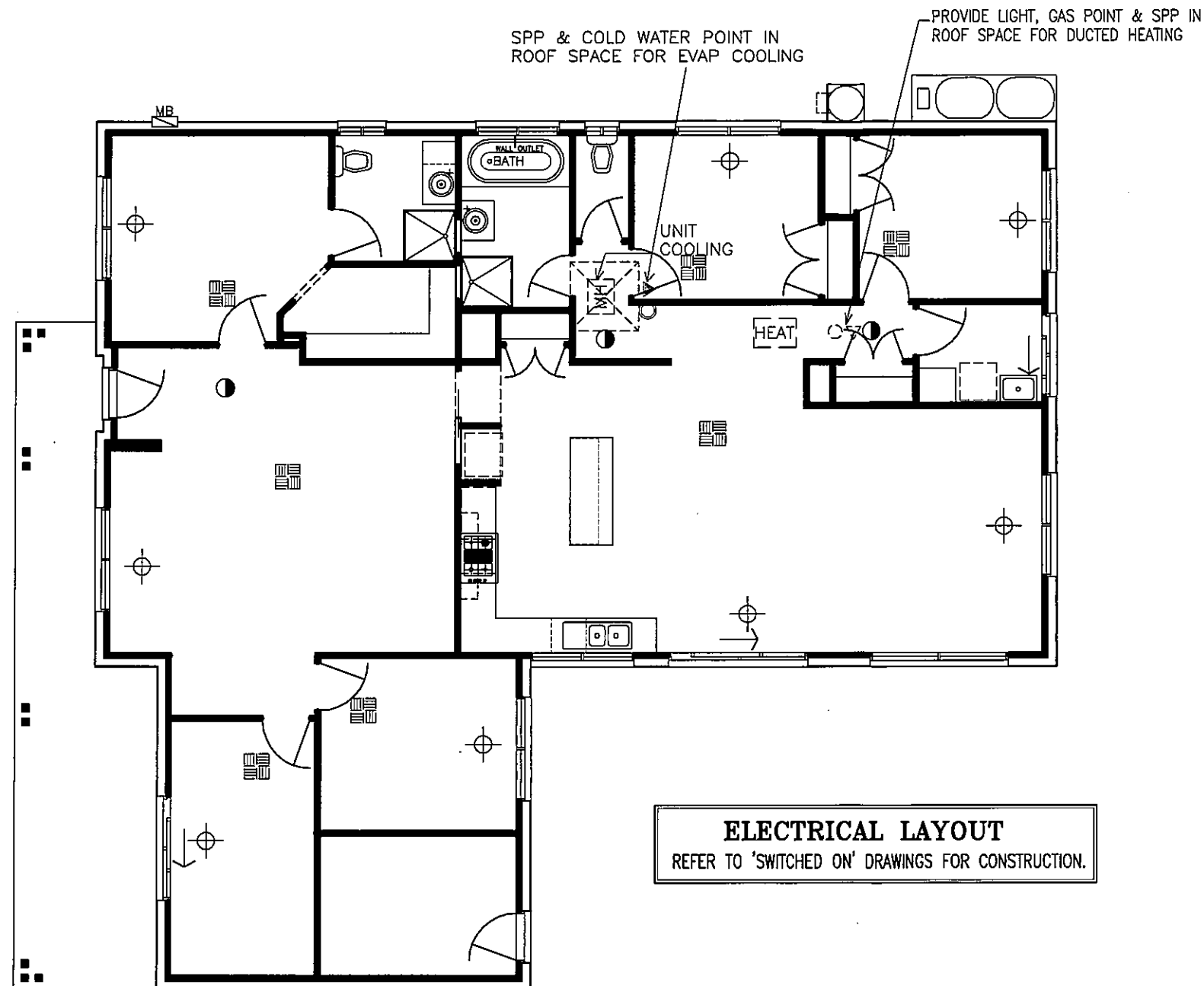
VIEW
ELEVATIONS

CUSTOMER
MR. C & MRS. L. BAILEY

ADDRESS
LOT 1773 MIRRABUCCA PROM, STH MORANG

House	HILLCREST 2100 MKII V6
Scale	1:100
Date	23/3/09
Drawn	A.L
Doc No.	21306-CON
Checked	Sheet No. 3B

NOTE: HEATING DUCT OUTLET
POSITIONS ARE APPROXIMATE ONLY



ELECTRICAL LAYOUT
REFER TO 'SWITCHED ON' DRAWINGS FOR CONSTRUCTION.

ELECTRICAL LEGEND

- - LIGHT POINT
- - DOWNLIGHT POINT
- ⦿ - HALOGEN DOWNLIGHT POINT
- ⊕ - WALL MOUNTED LIGHT POINT
- - FLUORESCENT LIGHT POINT
- ⦿ - 12v HALOGEN (adjust) gimble DOWNLIGHT POINT
- - TRACK LIGHTING
- ◀ - SINGLE POWER POINT (SPP)
- ◀◀ - DOUBLE POWER POINT (DPP)
- <OV - OVEN ISOLATION SWITCH to kitchen bench wall
- ◀◀R - DPP WITH RANGEHOOD ISOLATION SWITCH
- NOTE: POWER POINTS LOCATED TO VANITY BASINS
TO BE 1300mm ABOVE FLOOR LEVEL
- ◀◀ - EXTERNAL WEATHERPROOF DOUBLE POWER POINT
- ◀ - EXTERNAL WEATHERPROOF SINGLE POWER POINT
- - SMOKE DETECTOR
(Installed as per cl. Vic E1.7.1 of the
B.C.A. & to comply with AS 3786)
- ⦿ - EXHAUST FAN
- TV - TELEVISION POINT
- TEL - TELEPHONE POINT
- W - DIMMER SWITCH
- V - DUCTED VACUUM POINT
- F - FLOODLIGHT WITH SENSOR
- T - IXL TASTIC UNIT
- S - SWEEP FAN
- H - DUCTED HEATING ROUND CEILING REGISTER.
NOTE - OUTLET POSITION ARE
APPROXIMATE ONLY
- HEAT - DUCTED HEATING UNIT
- E - EVAPORATIVE COOLING CEILING REGISTER
NOTE - OUTLET POSITION ARE
APPROXIMATE ONLY
- COOLING UNIT - EVAPORATIVE COOLING UNIT

PROVIDE 1 No. TEMPERATURE CONTROL DEVICE TO
REGULATE HOT WATER SUPPLY TO BATHROOM, POWDER
ROOM & ENSUITE TO CONFORM WITH PLUMBING AND
DRAINAGE CODE AND PROVIDE SELF CERTIFICATION
FOR GAS SERVICE

FIRE RATED DUCTWORK TO DUCTED HEATING TO CONFORM
WITH NEW STATE GOVERNMENT LEGISLATION

2006 ALTIMA SPECIFICATION

— REF, FRE, WM, CD, DW INDICATES POSITION ONLY

MH - MANHOLE ○ - SMOKE DETECTOR TO A.S. 3786

NOTES:

— ALL LIGHT SWITCHES AT 1050mm



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VIEW

ELECTRICAL

CUSTOMER

MR. C & MRS. L. BAILEY

ADDRESS

LOT 1773 MIRRABUCCA PROM, STH MORANG

House HILLCREST 2100 MKII V6

Scale 1:100 Date 23/3/09

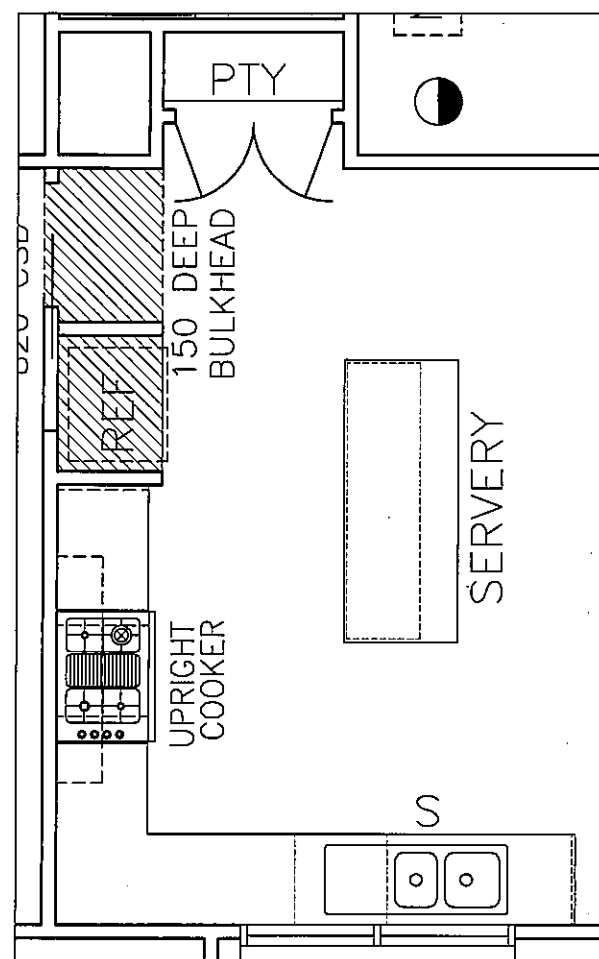
Drawn A.L. Dwg. No. 21306-CON

Checked Sheet No. 4



Simonds Homes
Melbourne Pty.Ltd.

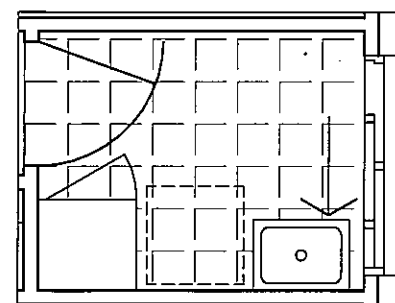
2ND FLOOR, 28-32 ALBERT ROAD,
SOUTH MELBOURNE VIC 3205
Tel. 9682 0700 Fax 9682 0800
ACN 060 197 610



KITCHEN

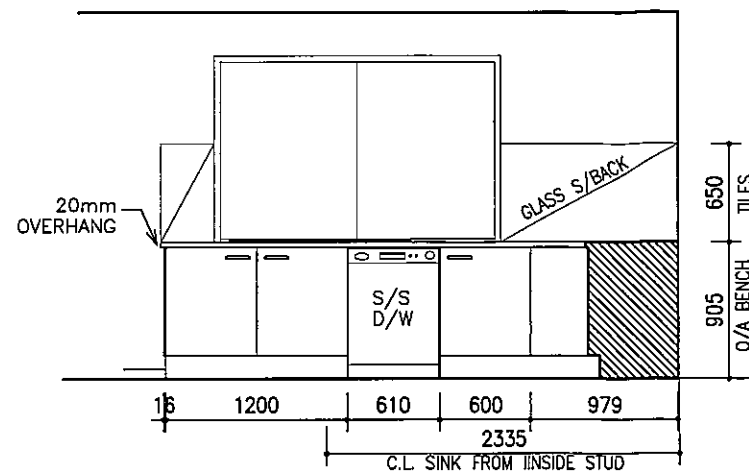
(PLAN)

NOTE: SKIRTING TILES TO WET AREAS, INCLUDING WC WALLS

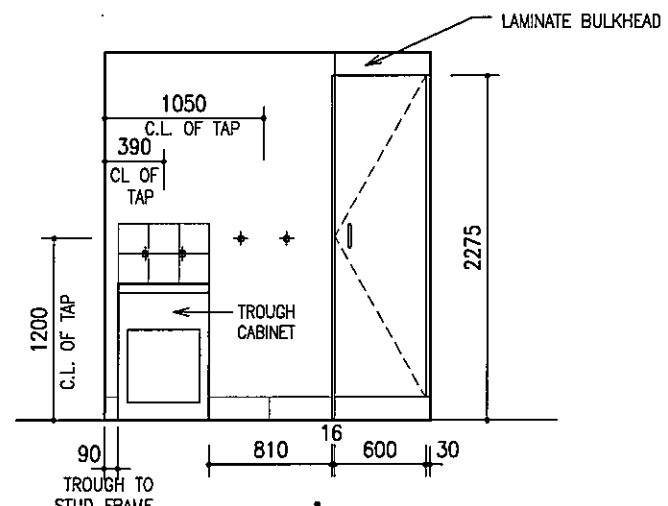
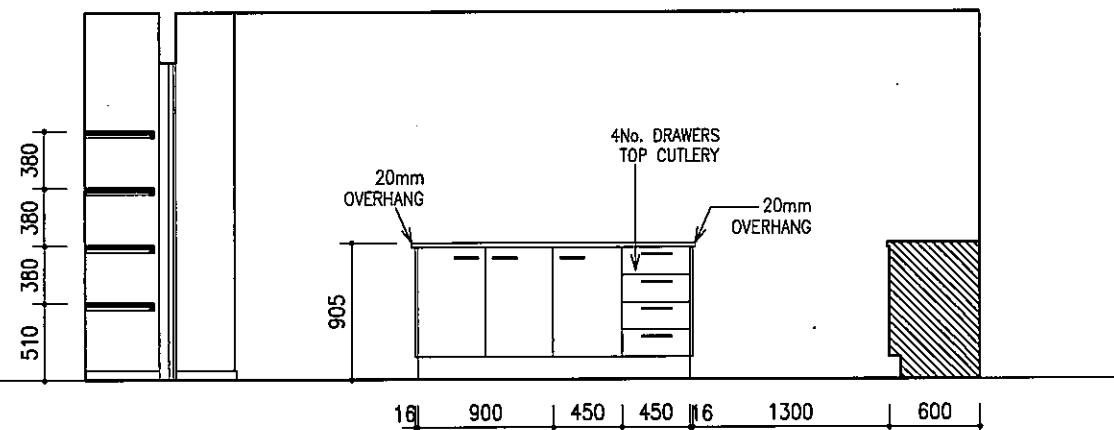
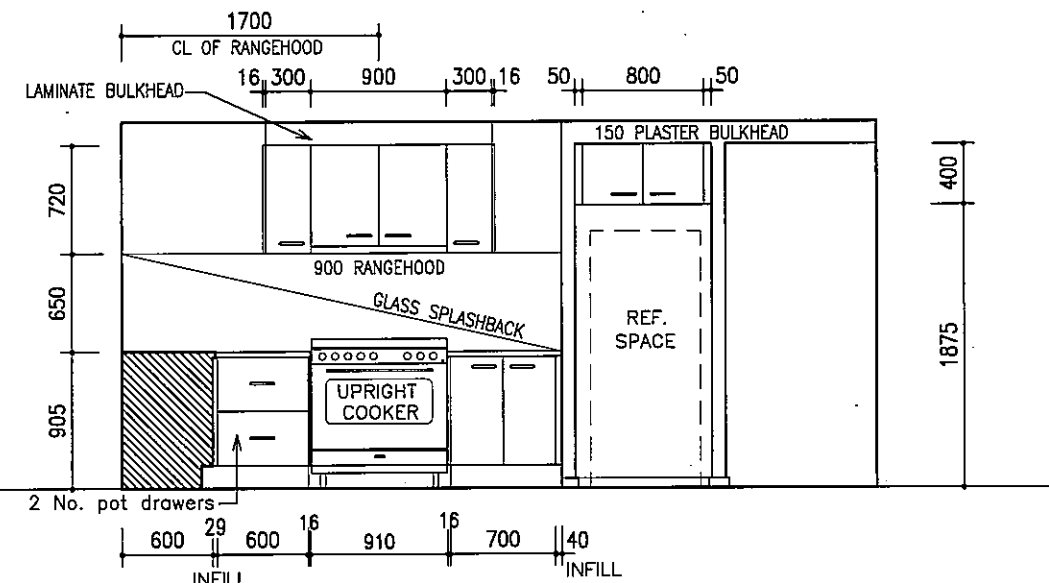
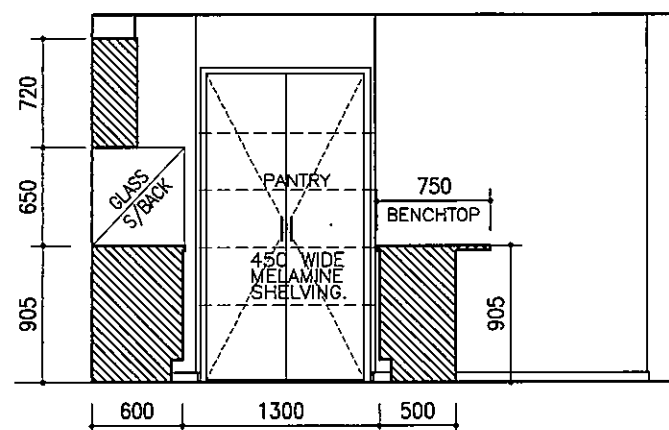


LAUNDRY

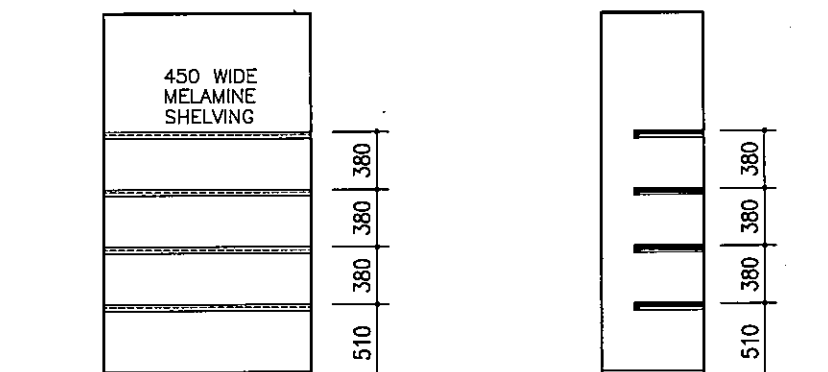
(PLAN)



KITCHEN



L'DRY



2006 ALTIMA SPECIFICATION LINEN

TRADITIONAL FACADE

V 6

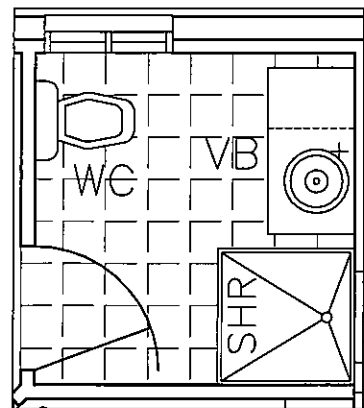


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2ND FLOOR, 28-32 ALBERT ROAD,
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Tel. 9682 0700 Fax 9682 0800
ACN 050 197 810

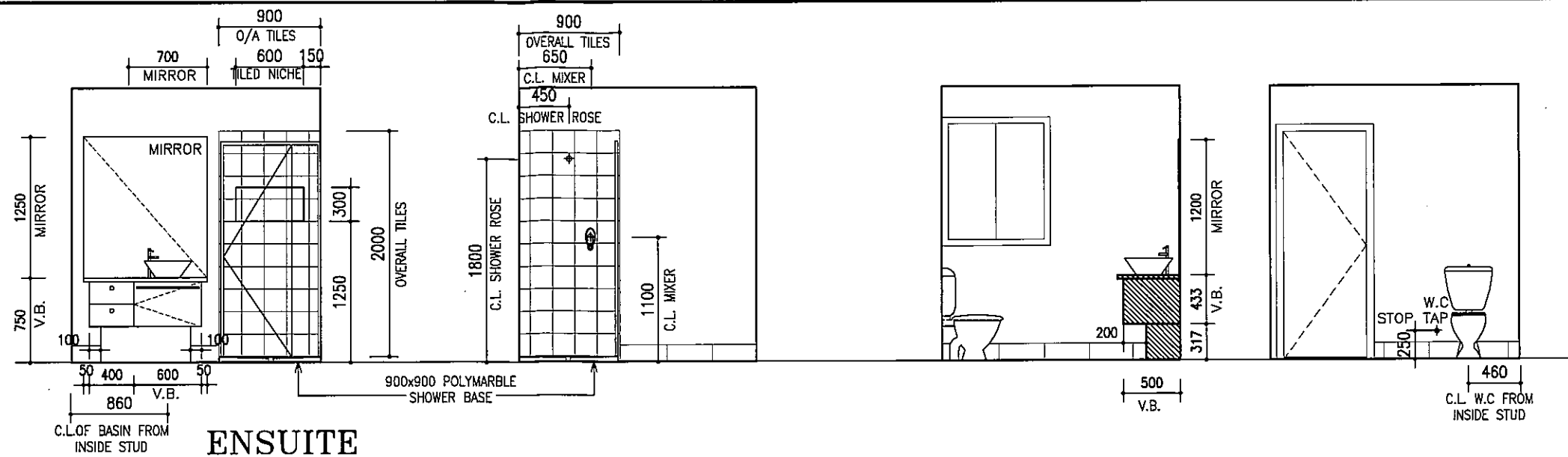
NOTES:
- ALL CABINET DIMENSIONS TO BE CONFIRMED ON SITE
- DIMENSIONS TO PLASTERBOARD UNLESS OTHERWISE NOTED
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VIEW INTERNAL ELEVATIONS
CUSTOMER MR. C & MRS. L. BAILEY
ADDRESS LOT 1773 MIRRABUCCA PROM, STH MORANG

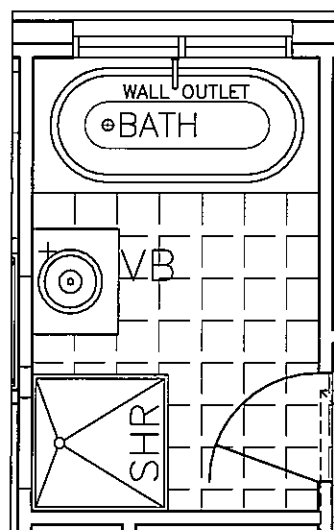
House HILLCREST 2100 MKII V6
Scale 1:50 Date 23/3/09
Drawn A.L. Dwg. No. 21306-CON
Checked Sheet No. 5



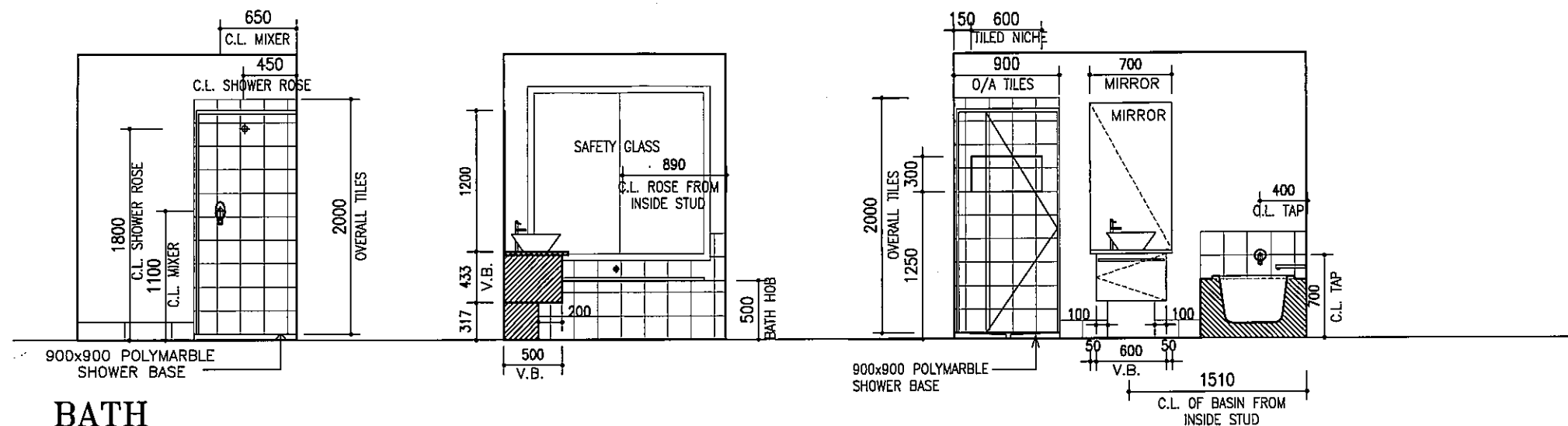
ENSUITE
(PLAN)



ENSUITE

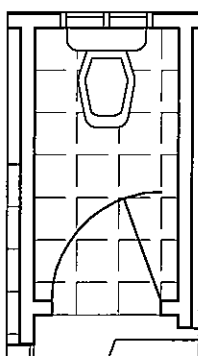


BATH
(PLAN)

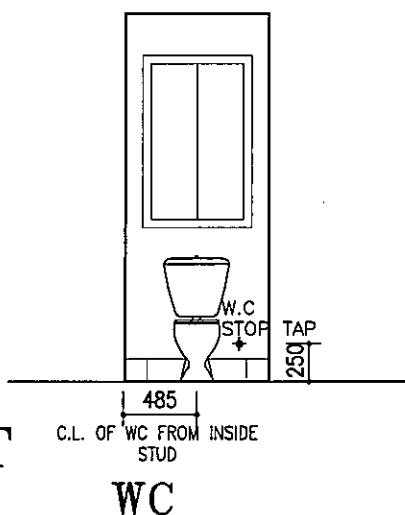


BATH

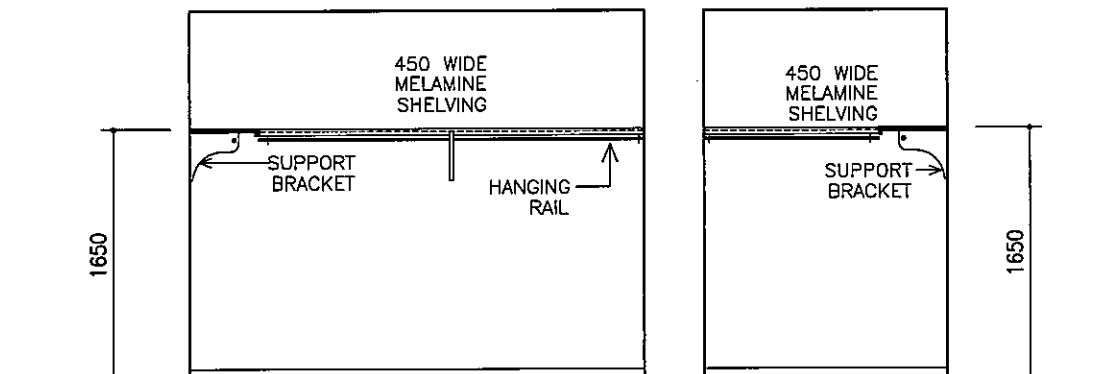
NOTE: SKIRTING TILES TO WET AREAS, INCLUDING WC WALLS



WATER CLOSET
(PLAN)



WC



W.I.R

V 6

TRADITIONAL FACADE



Simonds Homes
Melbourne Pty.Ltd.
2ND FLOOR, 28-32 ALBERT ROAD,
SOUTH MELBOURNE VIC 3205
Tel. 9682 0700 Fax 9682 0800
ACN 050 197 610

NOTES:

- ALL CABINET DIMENSIONS TO BE CONFIRMED ON SITE
- DIMENSIONS TO PLASTERBOARD UNLESS OTHERWISE NOTED



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VIEW

INTERNAL ELEVATIONS

CUSTOMER

MR. C & MRS. L. BAILEY

ADDRESS

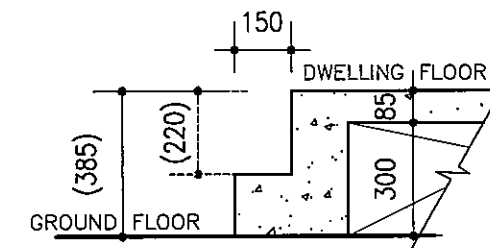
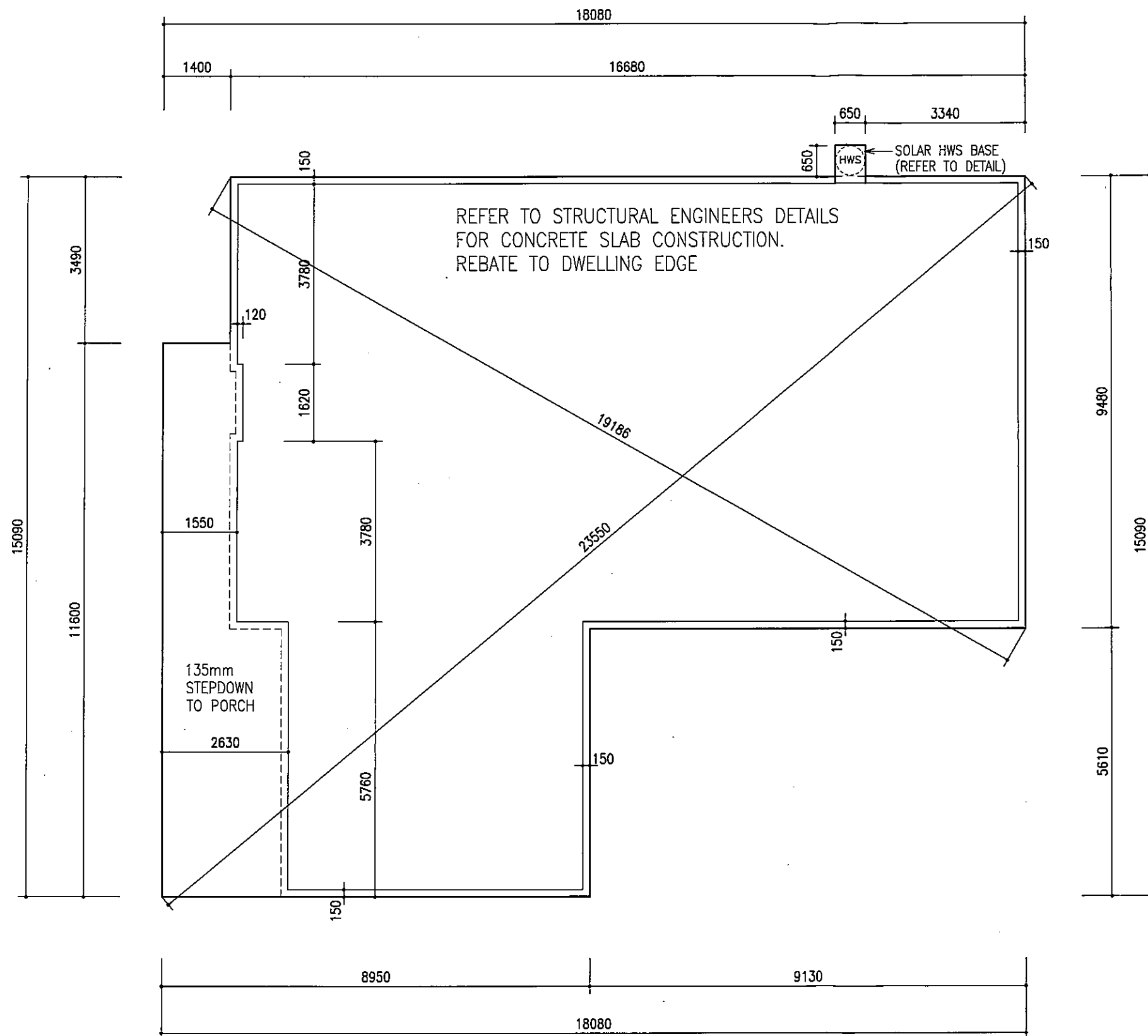
LOT 1773 MIRRABUCCA PROM, STH MORANG

House **HILLCREST 2100 MKII V6**

Scale **1:50** Date **23/3/09**

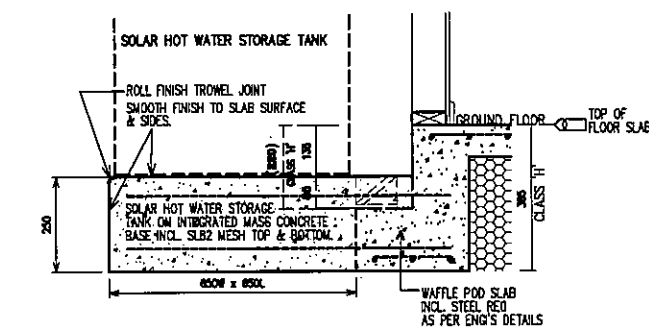
Drawn **A.L.** Draw No. **21306-CON**

Checked Sheet No. **5A**



TYPICAL SLAB DETAIL

SCALE 1:20

CLASS 'H'
SOLAR HOT WATER STORAGE TANK
CONCRETE BASE INTERGRATED WITH HOUSE SLAB
Scale 1:20

2006 ALTIMA SPECIFICATION

V 6

TRADITIONAL FACADE



Simonds Homes
Melbourne Pty.Ltd.

2ND FLOOR, 28-32 ALBERT ROAD,
SOUTH MELBOURNE VIC 3205
Tel. 9682 0700 Fax 9682 0800
ACN 050 197 810



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VIEW
SLAB LAYOUT

CUSTOMER
MR. C & MRS. L. BAILEY

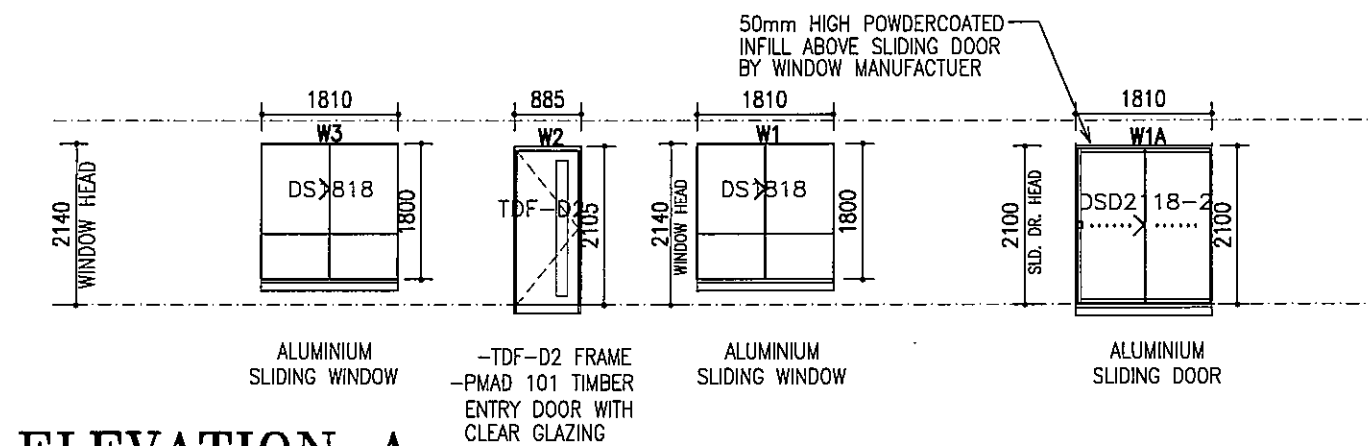
ADDRESS
LOT 1773 MIRRABUCCA PROM, STH MORANG

House
HILLCREST 2100 MKII V6

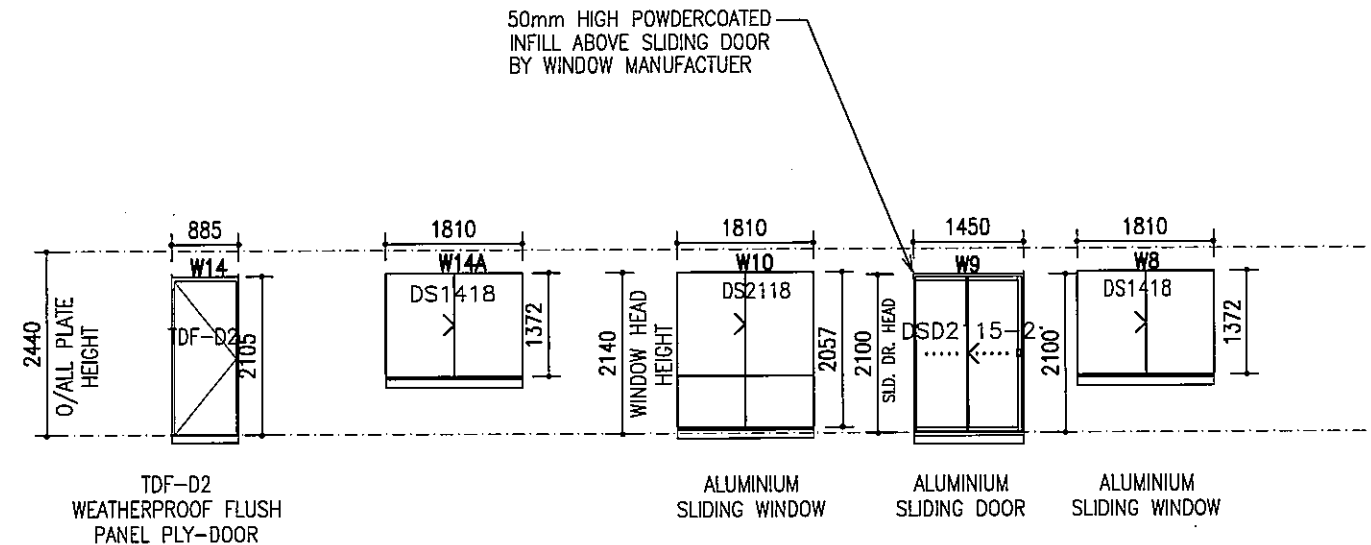
Scale
1:100 Date
23/3/09

Drawn
A.L. 21306-CON

Checked
Sheet No.
6

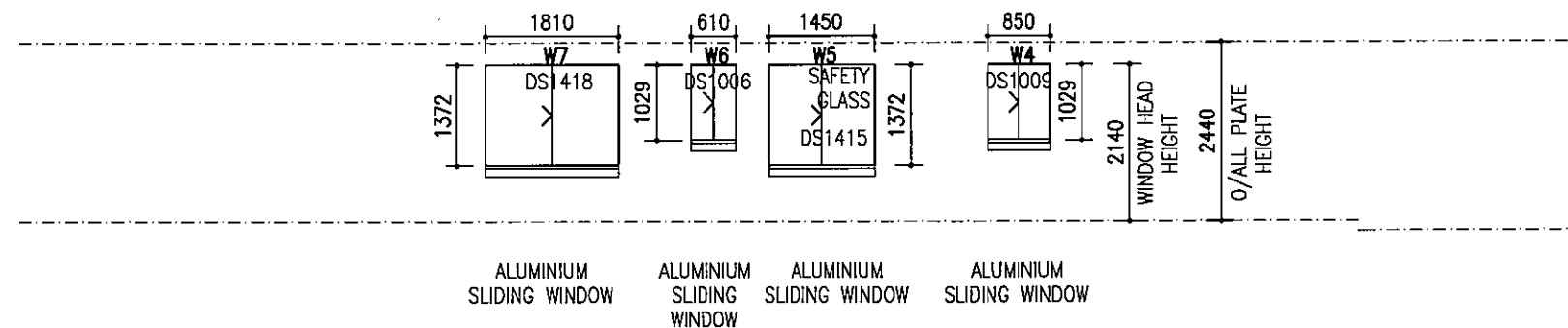


ELEVATION A

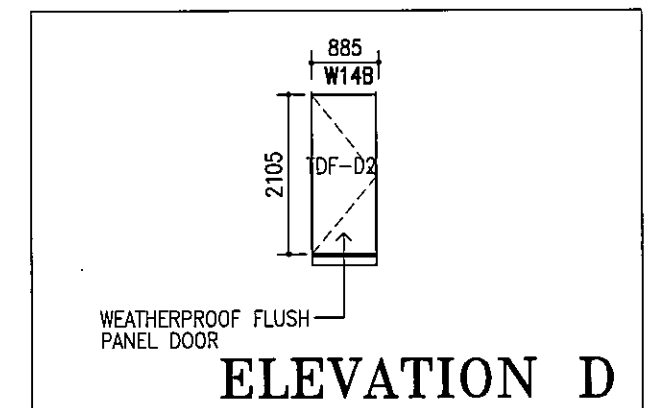
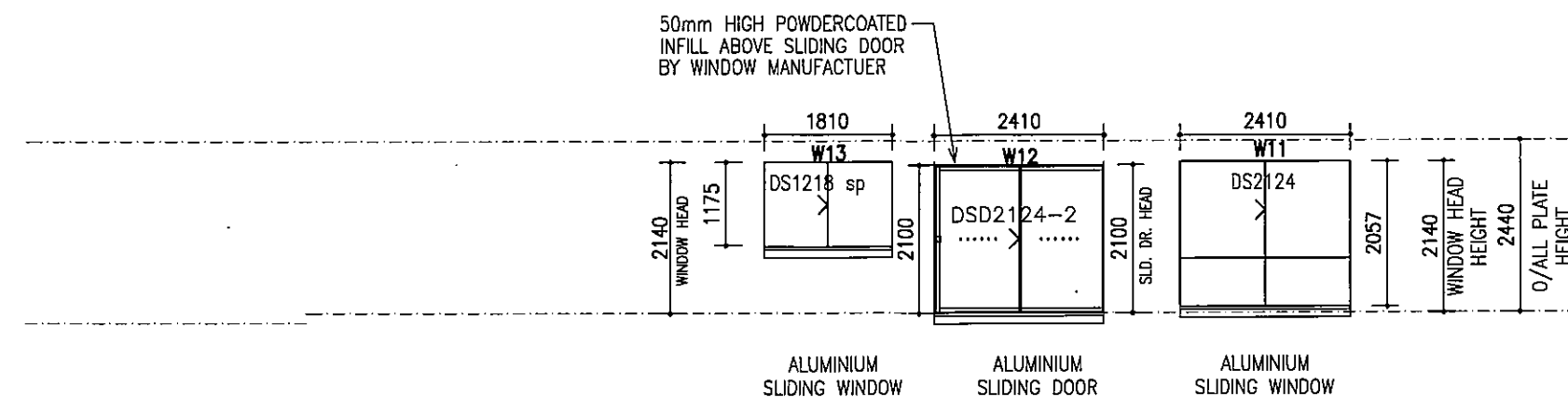


ELEVATION C

ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS

WINDOW SCHEDULE (Nominal Sizes)
DOWELL WINDOW SCHEDULEFOR STUD (FRAMED) OPENINGS: Window WIDTH PLUS 50mm,
Window HEIGHT PLUS 60mm MIN.

ELEVATION D

ELEVATION D
(GARAGE)

ELEVATION B

V 6



Simonds Homes
Melbourne Pty.Ltd.

2ND FLOOR, 28-32 ALBERT ROAD,
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ACN 050 197 610



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VIEW
WINDOW SCHEDULE

CUSTOMER
MR. C & MRS. L. BAILEY

ADDRESS
LOT 1773 MIRRABUCCA PROM, STH MORANG

House
HILLCREST 2100 MKII V6

Scale
1:100

Date
23/3/09

Drawn
A.L.

Proj. No.
21306-CON

Checked
Sheet No.

9